

# TIRZ PRIORITY PROJECTS

## OLD FITZHUGH ROAD

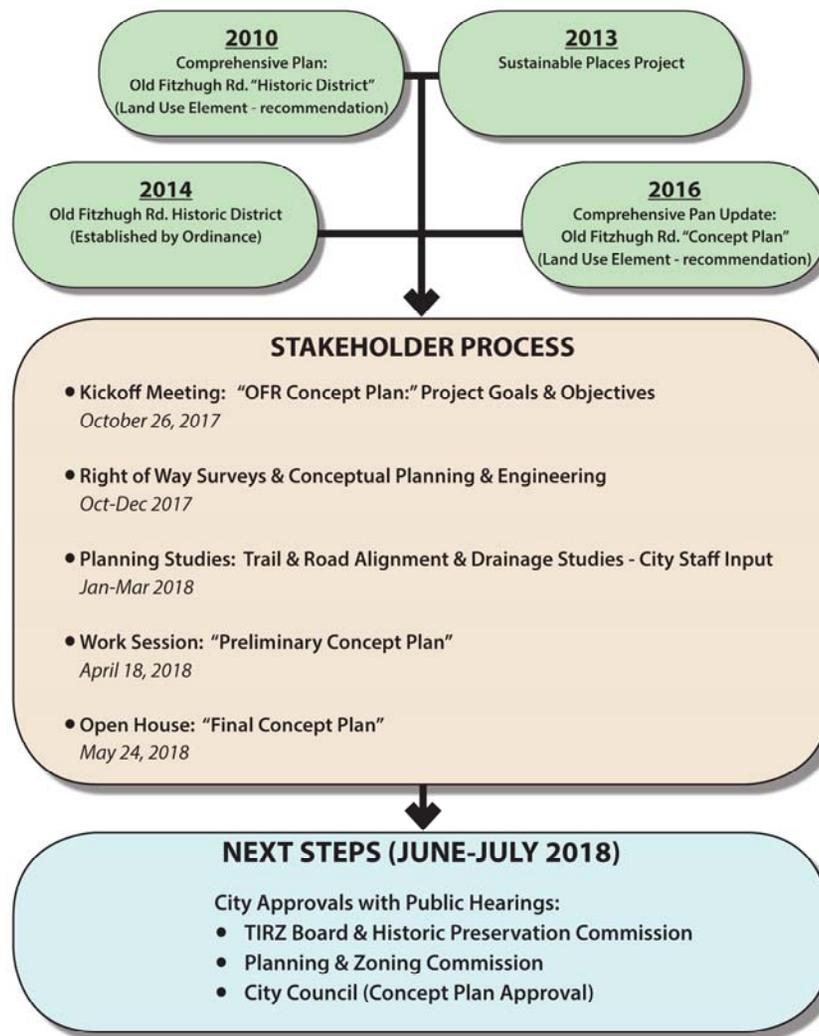
### FINAL CONCEPT PLAN



*Presentation to  
TIRZ Board  
DRAFT May 31, 2018*

# Old Fitzhugh Road

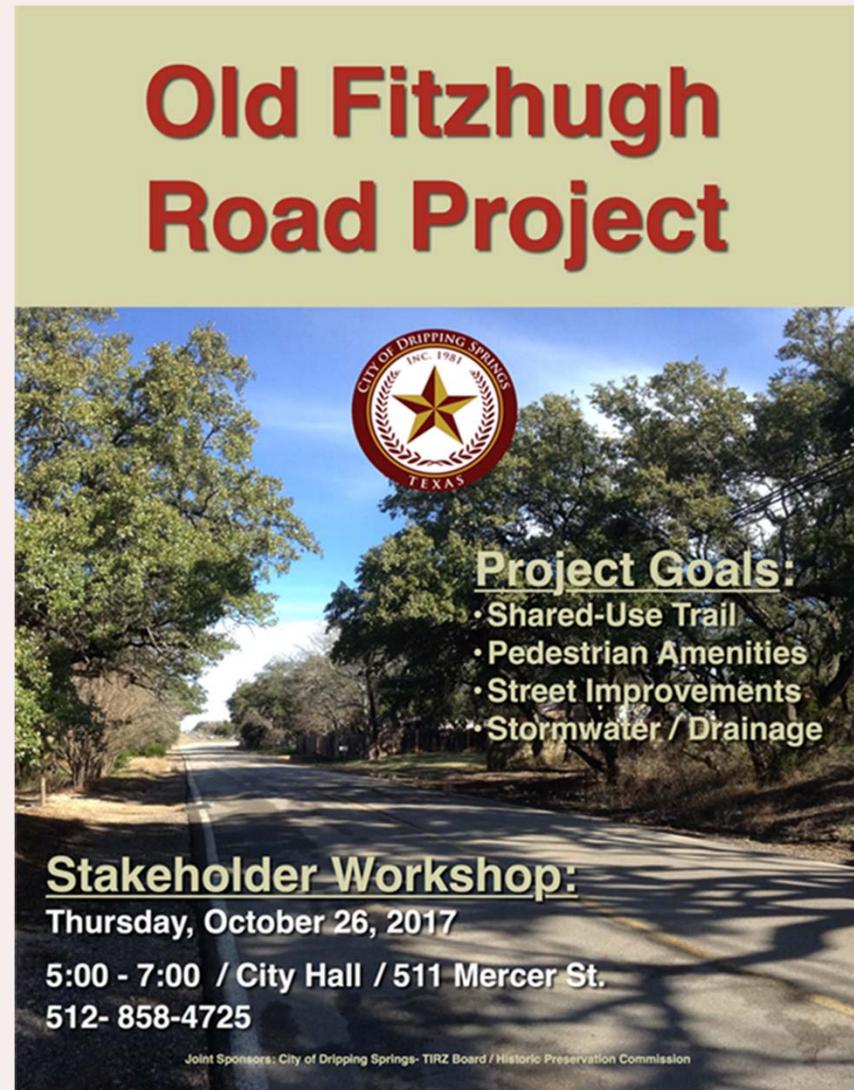
## Policy Background & Planning Process



# Old Fitzhugh Road

## Project Kick-Off Goals

- Shared-Use Trail
- Pedestrian Amenities
- Street Improvements
- Stormwater / Drainage



**Old Fitzhugh Road Project**



**Project Goals:**

- Shared-Use Trail
- Pedestrian Amenities
- Street Improvements
- Stormwater / Drainage

**Stakeholder Workshop:**  
Thursday, October 26, 2017  
5:00 - 7:00 / City Hall / 511 Mercer St.  
512- 858-4725

Joint Sponsors: City of Dripping Springs- TIRZ Board / Historic Preservation Commission

# Old Fitzhugh Road

## Stakeholder Input (October 2017)

### QUALITIES TO PRESERVE

TREES  
 ECLECTIC LOCAL SHOPS  
 SMALL TOWN/COUNTRY FEEL  
 OLD HOMES/HISTORIC BUILDINGS

### CHALLENGES

NARROW IRREGULAR ROW  
 DRAINAGE  
 UTILITIES  
 ROUGH ROAD SURFACE  
 LACK OF COMMERCIAL IDENTITY  
 SPEEDING TRAFFIC  
 POOR LIGHTING  
 ON-STREET PARKING  
 OVER-COMMERCIALIZATION

### TOP 3 IMPROVEMENTS DESIRED

	Number of Responses			
	1st Choice	2nd Choice	3rd Choice	TOTAL
SIDEWALKS	4	3	2	9
TRAFFIC CALMING	3	1	2	6
CURBSIDE PARKING	2	0	2	4
LIGHTING	0	1	1	2
MIX OF RESIDENTIAL & COMMERCIAL	0	1	1	2
TRAIL	1	0	1	2
TREES	0	1	0	1
RAIN GARDENS	1	0	0	1

# Old Fitzhugh Road

## Stakeholder Input (April 2018)

**Curbs**

- CURB & GUTTER
- STANDING CURB
- GRANITE CURB
- RIBBON CURB
- STONE CURB

**Drainage & Water Quality**

- STRUCTURED RAIN GARDEN
- SHALLOW BIOSWALE
- CURB INLET

**Traffic Calming & Crossings**

- PRESERVE EXISTING TREES
- SPEED TABLE CROSSWALKS
- LIVE OAK TRAFFIC ISLAND
- SPEED CUSHIONS
- CENTER ISLAND

**Shared Use Path**

- EXPOSED AGGREGATE
- PVIOUS PAVERS
- DECOMPOSED GRANITE
- ASPHALT

**Lighting**

- POOLS OF TRAIL LIGHTING
- TREE UPLIGHTING
- MERCER STREET LIGHTING
- DECORATIVE LIGHTING
- PATHWAY LIGHTING

OLD FITZHUGH ROAD PROJECT  
Dripping Springs TIRZ Priority Projects

# Old Fitzhugh Road

## Constraints

- Right-of-way ranges between 45 and 55 feet in width.
- Some property lines come to the center of the street.
- Existing trees within ROW will limit some options.
- Run-off sheet flows from east to west across roadway and adjacent properties.
- Some overhead electric poles will need to be moved.

# Old Fitzhugh Road



05/31/2018

**Dripping Spring TIRZ Priority  
Projects**

7

# Old Fitzhugh Road



05/31/2018

**Dripping Spring TIRZ Priority  
Projects**

8

# Old Fitzhugh Road



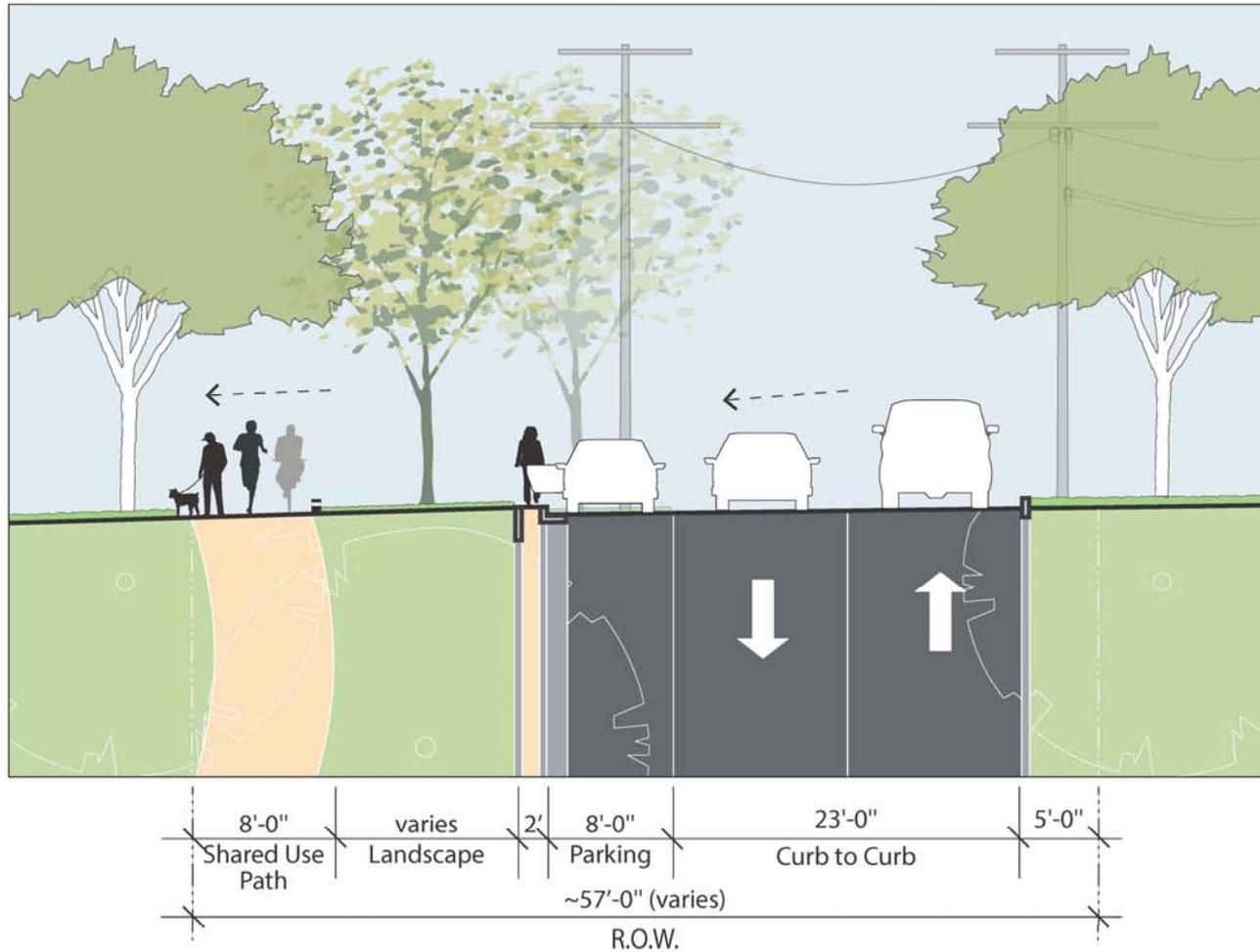
# Old Fitzhugh Road

## Conceptual Solutions & Strategies

- Enhance rustic 2 lane road with needed improvements.
- Shift Roadway alignment to accommodate Shared Use Path on the West side of the roadway.
- Create community connections along OFR and to the east and west with future trail extensions.
- Improve drainage, water quality, and roadway elements.
- Develop pedestrian, lighting, parking, and landscape solutions.

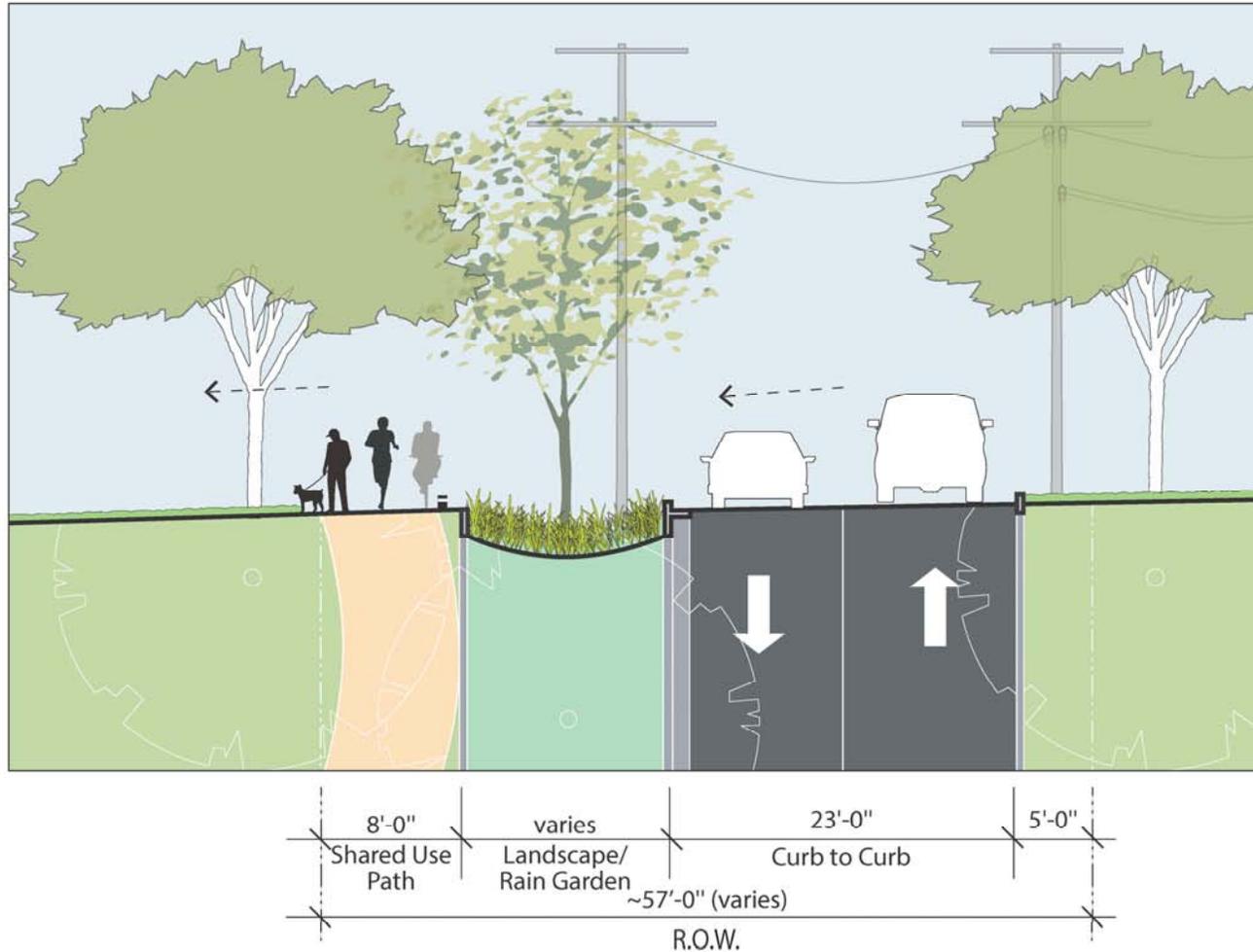
# Old Fitzhugh Road

## Section A Condition 1: Typical with Parking (Looking North)



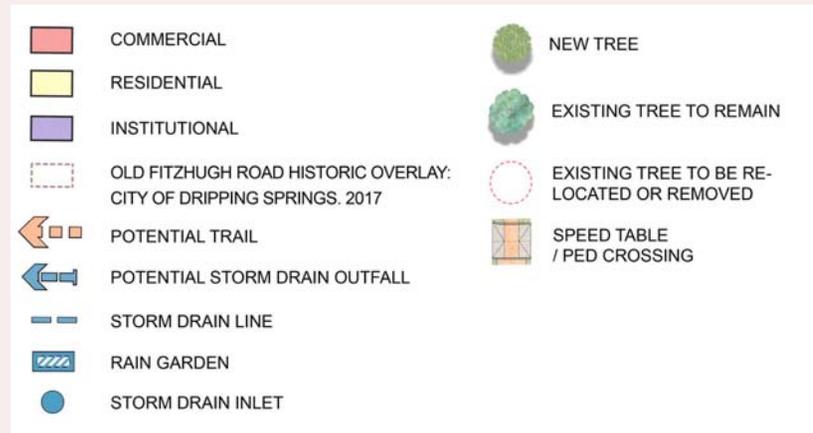
# Old Fitzhugh Road

## Section A Condition 2: Typical without Parking (Looking North)



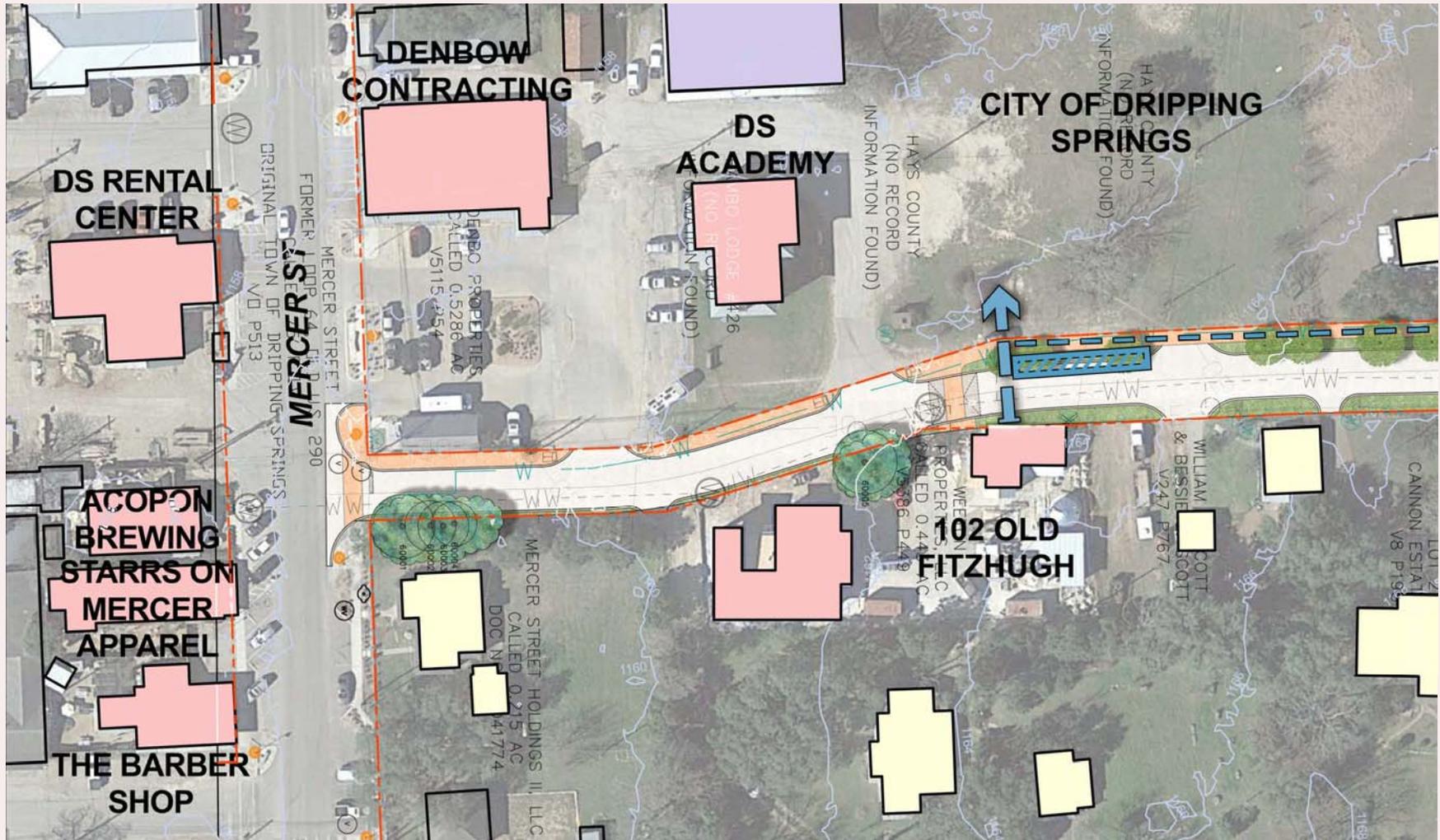
# Old Fitzhugh Road

## Overall Concept Plan



# Old Fitzhugh Road

## Plan Detail at Mercer Street



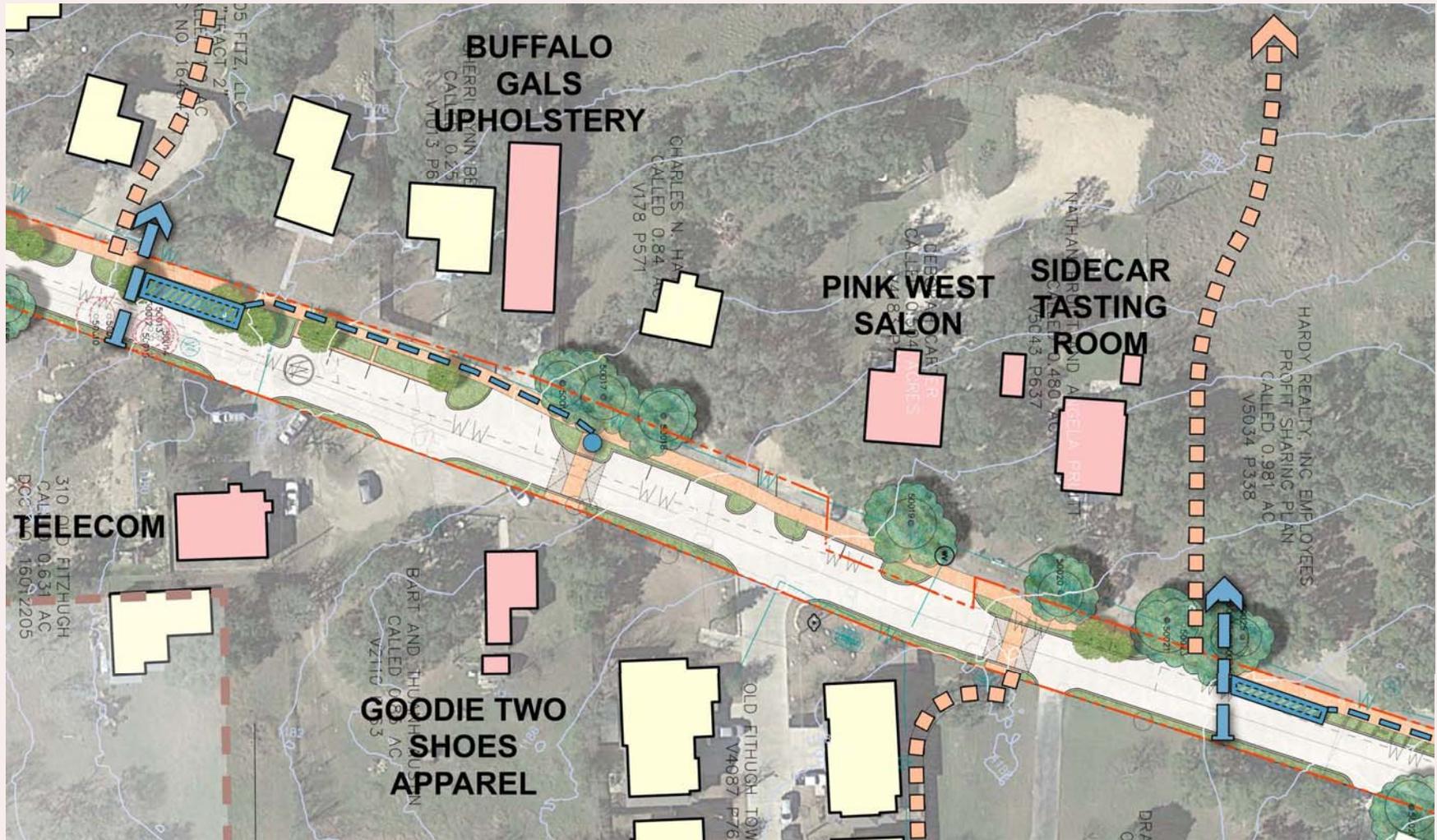
# Old Fitzhugh Road

## Plan Detail



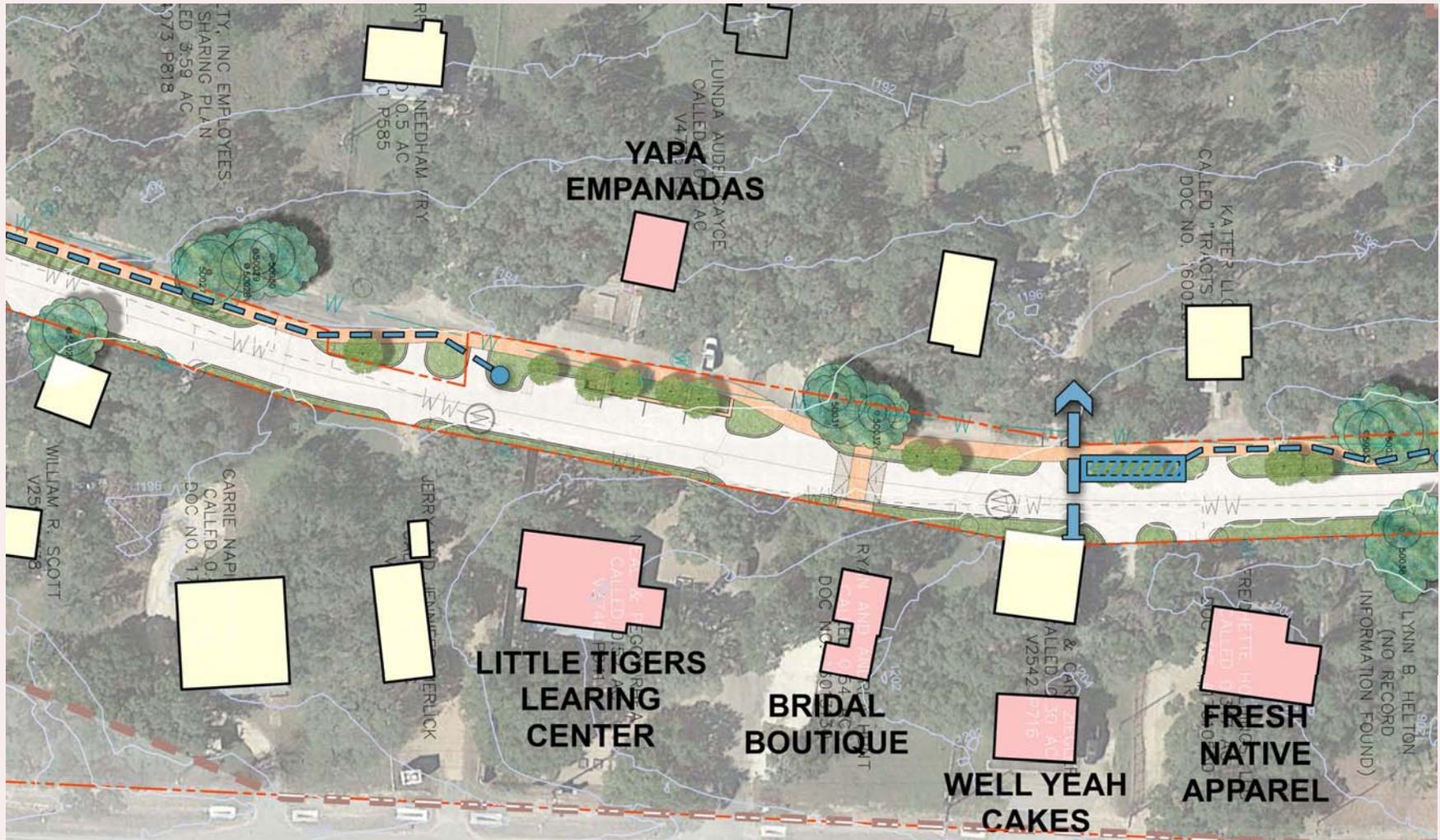
# Old Fitzhugh Road

## Plan Detail



# Old Fitzhugh Road

## Plan Detail



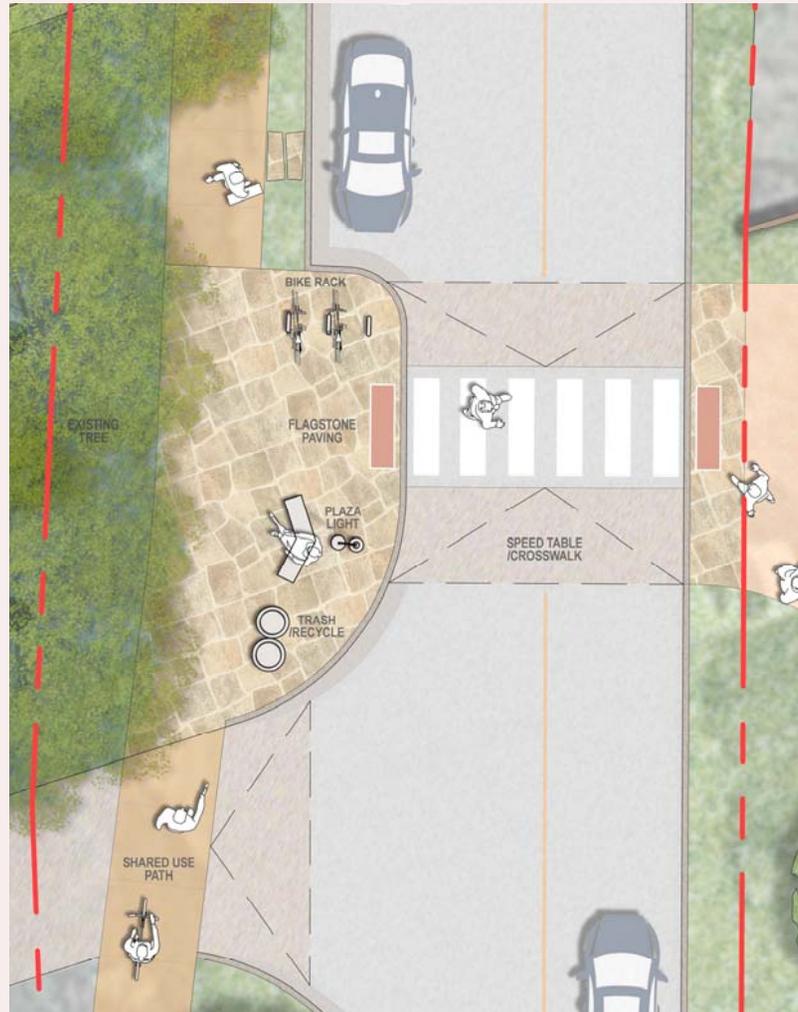
# Old Fitzhugh Road

## Plan Detail at RM 12



# Old Fitzhugh Road

## Activity Plaza & Traffic Calming



# Old Fitzhugh Road

## Recommended Materials, Treatments, & Elements

### Shared Use Path

EXPOSED AGGREGATE



EXPOSED AGGREGATE WITH FLAGSTONE



### Lighting & Pedestrian Amenities

MERCER STREET LIGHTING



PATHWAY LIGHTING



### Drainage & Water Quality

ARMORED CURB INLET



STRUCTURED RAIN GARDEN



### Curbs

STANDING STONE CURB



STONE CURB WITH GUTTER



### Traffic Calming & Crossings

SPEED TABLE CROSSWALKS



# Shared Use Path



EXPOSED AGGREGATE CONCRETE



EXPOSED AGGREGATE WITH FLAGSTONE

# Lighting & Pedestrian Amenities



MERCER STREET LIGHTING



PATHWAY LIGHTING

# Drainage and Water Quality



STRUCTURED RAIN GARDEN



ARMORED CURB INLET

# Curbs



STANDING STONE CURB



STONE CURB WITH GUTTER

# Traffic Calming & Crossings



SPEED TABLE CROSSWALKS

# Old Fitzhugh Road

## Stakeholder Input (*May 2018*)

- Parking: Maximize on-street parking opportunities.
- Signage: Provide stronger business district identity along RM 12.
- Rain Gardens: Ensure that rain gardens can be maintained.
- Drainage: Address drainage issues at the RM12 intersection.
- Materials: Support for the proposed range of materials.
- Website: Post the plan online.
- Implementation: Identify funding and project schedule.

# Old Fitzhugh Road

## NEXT STEPS

1. Finalize Plans & Conceptual Budget
2. TIRZ Board, Historic Preservation, Parks, Transportation, & Planning & Zoning Commissions
3. City Council (Concept Plan Approval)

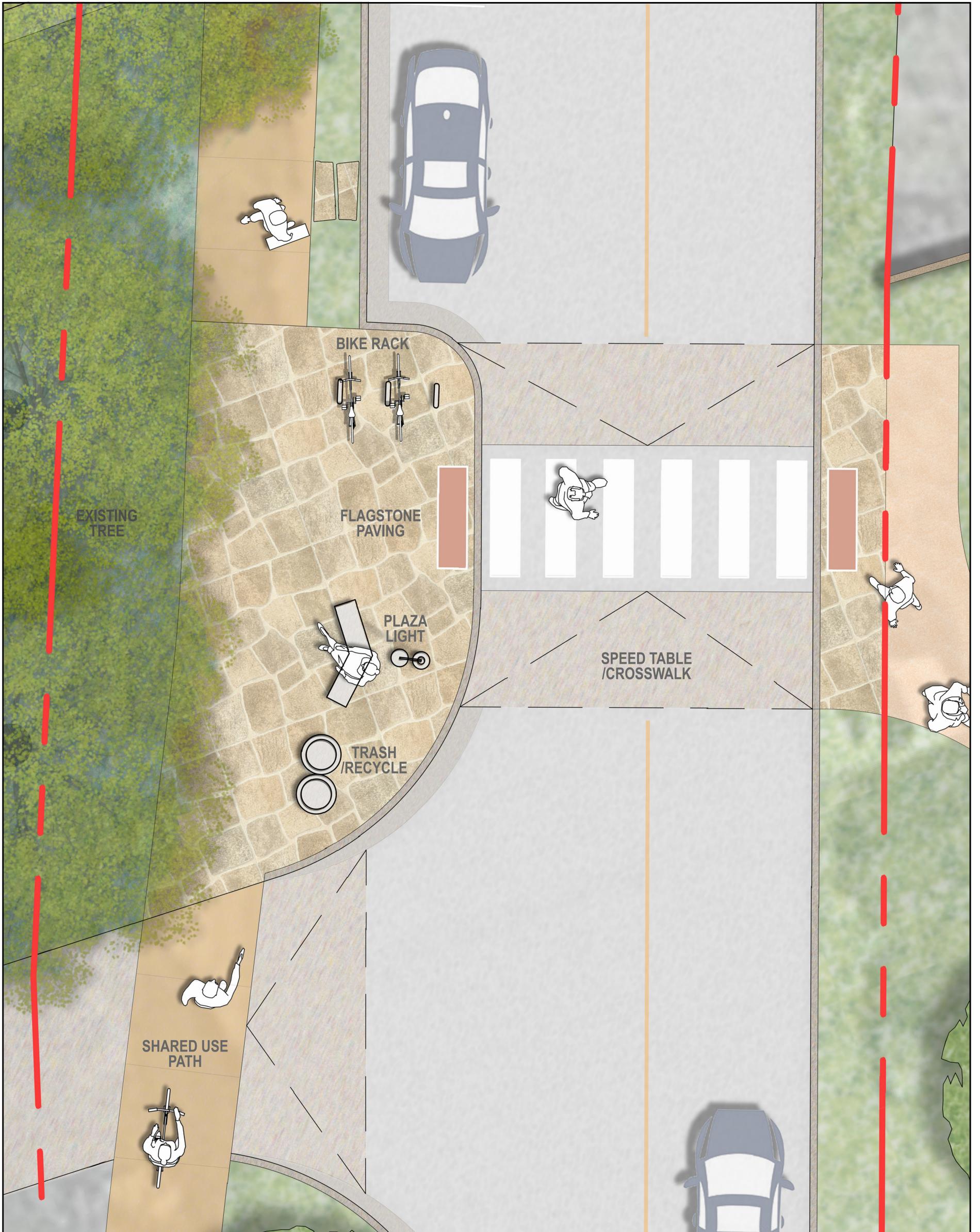


### **NEXT STEPS (JUNE-JULY 2018)**

#### City Approvals with Public Hearings:

- TIRZ Board & Historic Preservation Commission
- Planning & Zoning Commission
- City Council (Concept Plan Approval)





ILLUSTRATIVE VIEW  
 COMMERCIAL NODE CROSSING  
**Dripping Springs - Old Fitzhugh Road**

*Draft: McCann Adams Studio May 24, 2018*



# Curbs

**CURB & GUTTER**



**STANDING CURB**



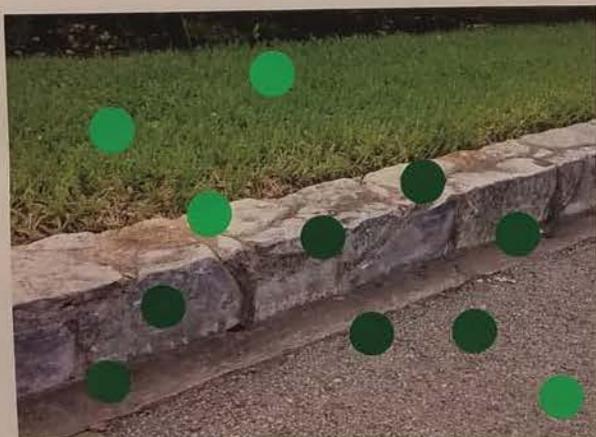
**GRANITE CURB**



**RIBBON CURB**

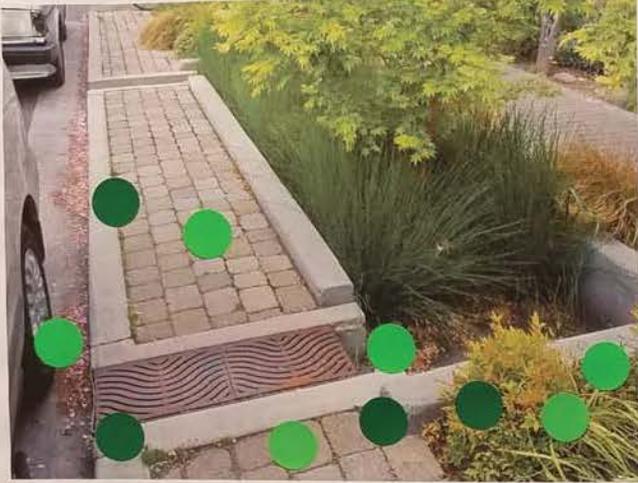


**STONE CURB**



# Drainage & Water Quality

## STRUCTURED RAIN GARDEN



## SHALLOW BIOSWALE



## ARMORED CURB INLET



## CURB INLET WITH GRATE



**OLD FITZHUGH ROAD PROJECT**  
**Dripping Springs TIRZ Priority Projects**

April 18, 2018

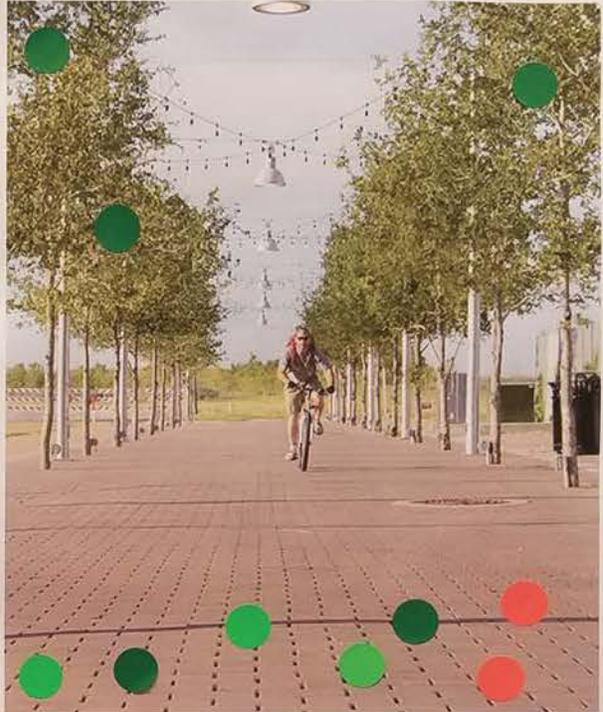


# Shared Use Path

EXPOSED AGGREGATE



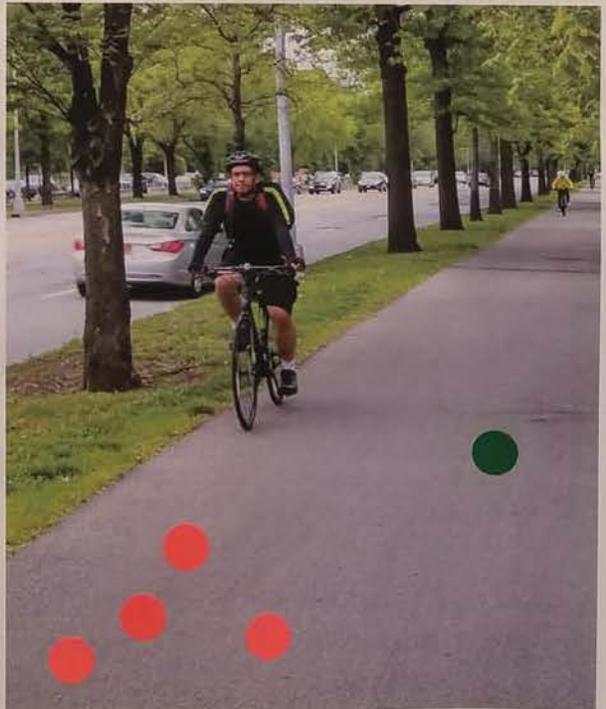
PERVIOUS PAVERS



DECOMPOSED GRANITE



ASPHALT



**OLD FITZHUGH ROAD PROJECT**  
**Dripping Springs TIRZ Priority Projects**

April 18, 2018



# Traffic Calming & Crossings

PRESERVE EXISTING TREES



SPEED TABLE CROSSWALKS



LIVE OAK TRAFFIC ISLAND



SPEED CUSHIONS



CENTER ISLAND



# Lighting

## POOLS OF TRAIL LIGHTING



## TREE UPLIGHTING



## MERCER STREET LIGHTING



## DECORATIVE LIGHTING



## PATHWAY LIGHTING



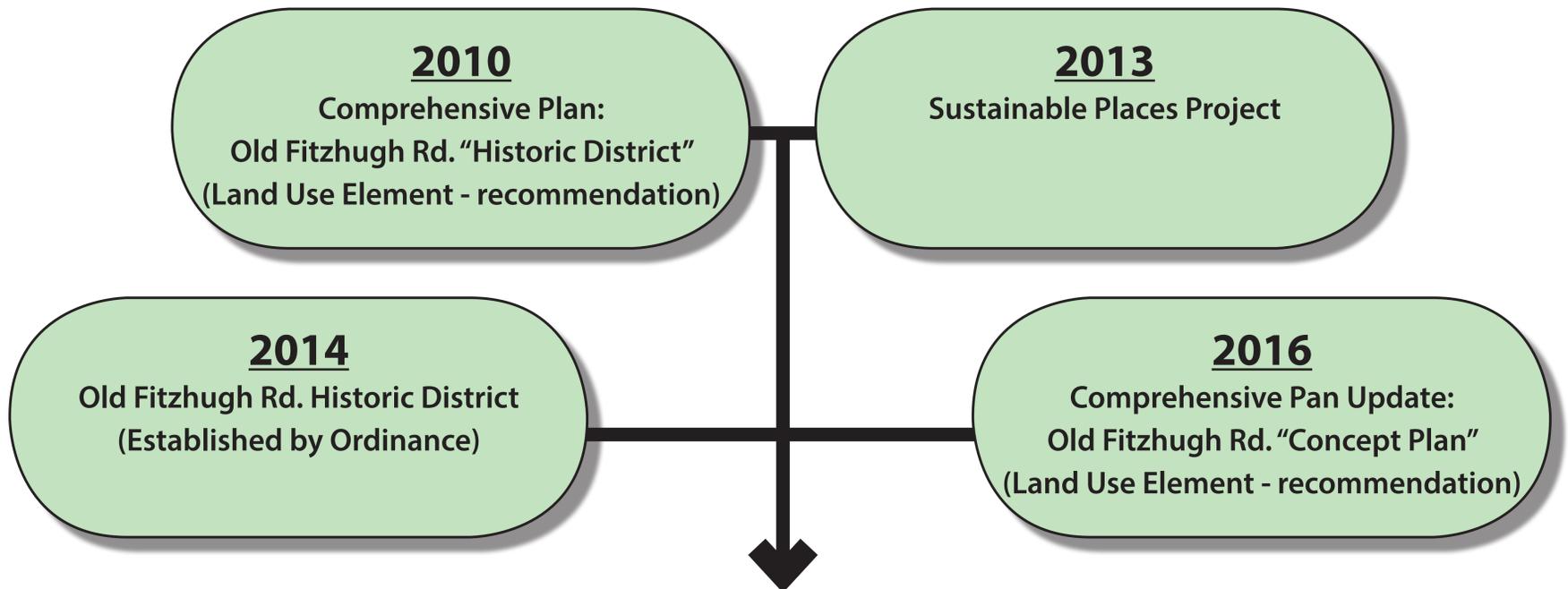
**OLD FITZHUGH ROAD PROJECT**  
**Dripping Springs TIRZ Priority Projects**

April 18, 2018



# Old Fitzhugh Road Planning Process

## POLICY FRAMEWORK



## STAKEHOLDER PROCESS

- **Kickoff Meeting: "OFR Concept Plan:" Project Goals & Objectives**  
*October 26, 2017*
- **Right of Way Surveys & Conceptual Planning & Engineering**  
*Oct-Dec 2017*
- **Planning Studies: Trail & Road Alignment & Drainage Studies - City Staff Input**  
*Jan-Mar 2018*
- **Work Session: "Preliminary Concept Plan"**  
*April 18, 2018*
- **Open House: "Final Concept Plan"**  
*May 24, 2018*

## NEXT STEPS (JUNE-JULY 2018)

City Approvals with Public Hearings:

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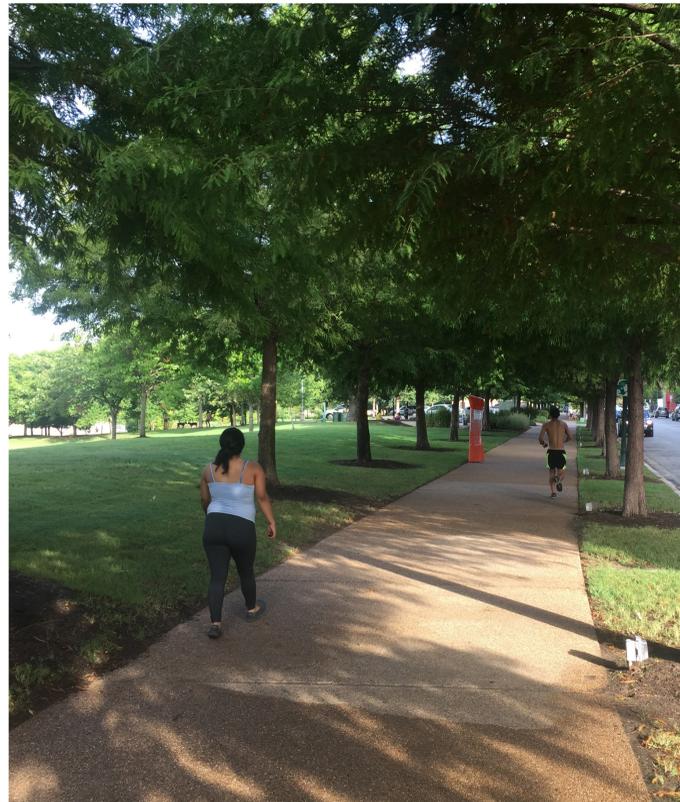
**OLD FITZHUGH ROAD PROJECT**  
**Dripping Springs TIRZ Priority Projects**



# Recommended Materials, Treatments, & Elements

## Shared Use Path

EXPOSED AGGREGATE



EXPOSED AGGREGATE WITH FLAGSTONE



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MERCER STREET LIGHTING



PATHWAY LIGHTING



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STRUCTURED RAIN GARDEN



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STANDING STONE CURB



STONE CURB WITH GUTTER

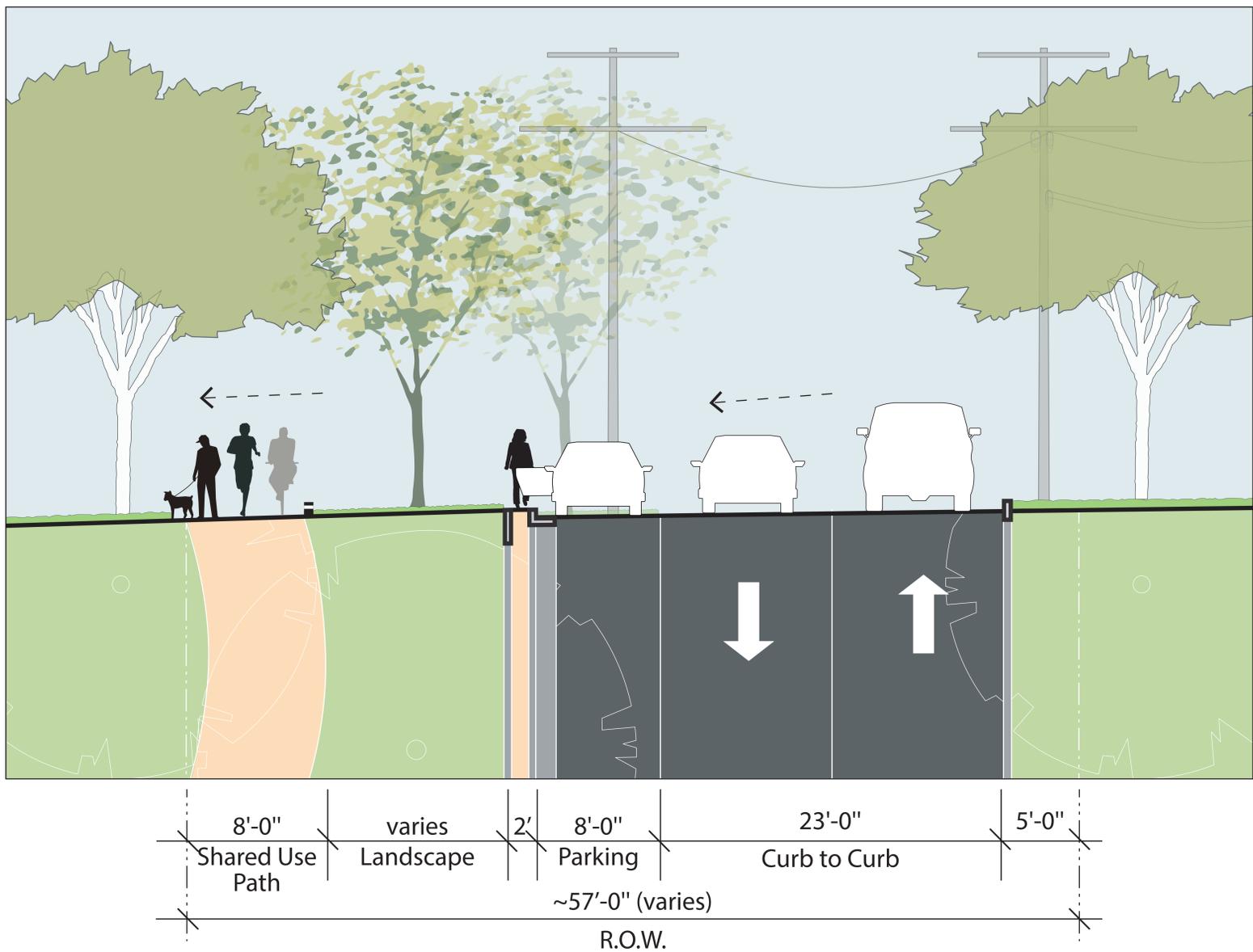


## Traffic Calming & Crossings

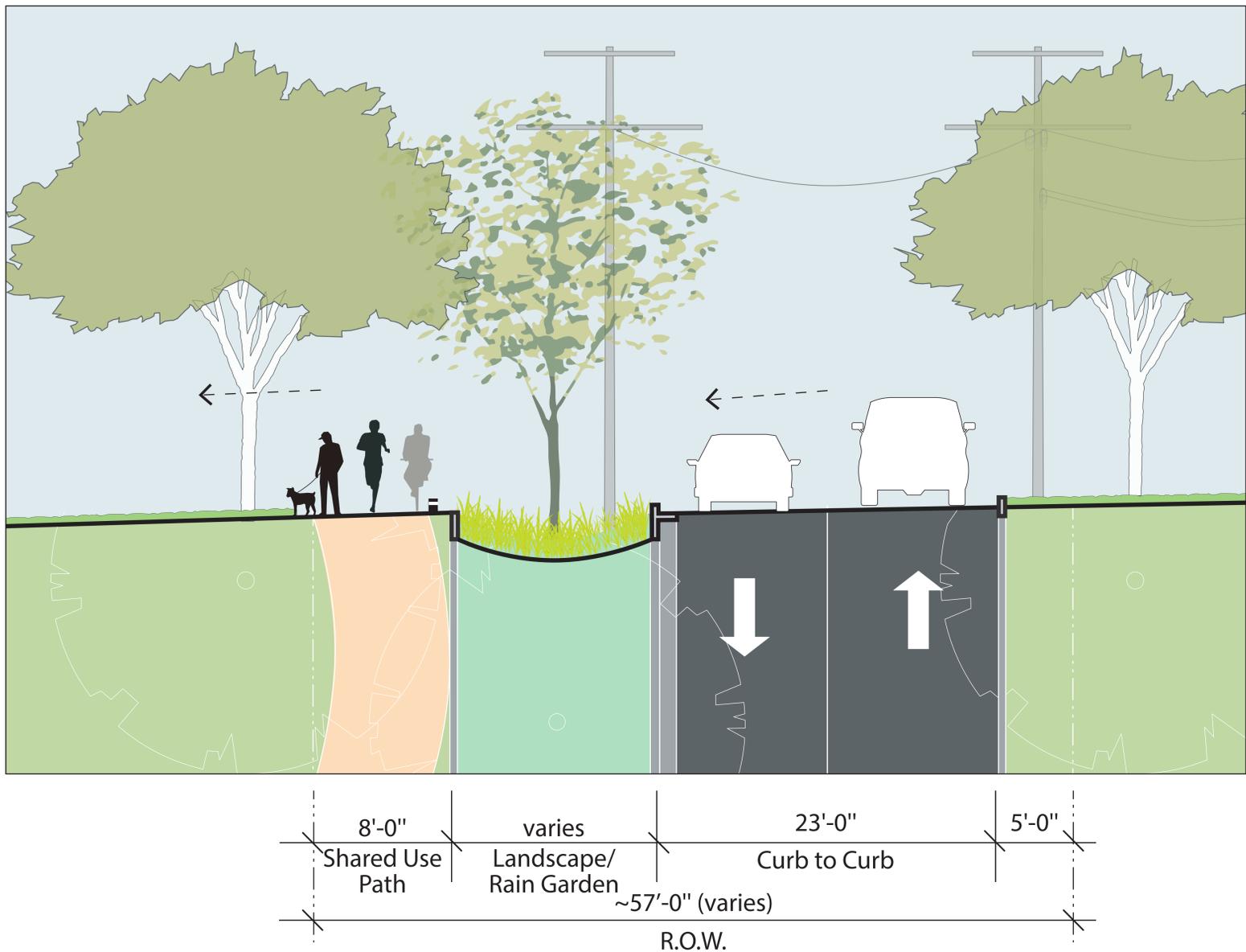
SPEED TABLE CROSSWALKS



**OLD FITZHUGH ROAD PROJECT**  
**Dripping Springs TIRZ Priority Projects**



SECTION A CONDITION 1: TYPICAL WITH PARKING (LOOKING NORTH)



SECTION A CONDITION 2: TYPICAL WITHOUT PARKING (LOOKING NORTH)

**OLD FITZHUGH ROAD PROJECT**  
**Dripping Springs TIRZ Priority Projects**



# Old Fitzhugh Road Stakeholder Input

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ON-STREET PARKING  
OVER-COMMERCIALIZATION

**OLD FITZHUGH ROAD PROJECT**  
**Dripping Springs TIRZ Priority Projects**



FITZHUGH LIMITED PARTNERSHIP  
CALLED 1.285 AC  
DOC. NO. 16014703

# CITY OF DRIPPING SPRINGS

HAYS COUNTY  
(NO RECORD  
INFORMATION FOUND)

## DS ACADEMY

DENBOW LODGE #426  
(NO RECORD  
INFORMATION FOUND)

## DENBOW CONTRACTING

DENBOW PROPERTIES  
CALLED 0.5286 AC  
V5115 P54

## 102 OLD FITZHUGH

WEENIN PROPERTIES, LLC  
CALLED 0.44 AC  
V5386 P449

WILLIAM R. SCOTT  
& BESSIE F. SCOTT  
V247 P767

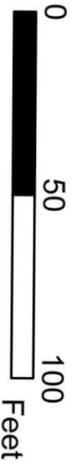
LOT 2  
CANNON ESTATES WEST  
V8 P195

MERCER STREET HOLDINGS II, LLC  
CALLED 0.215 AC  
DOC. NO. 16041774

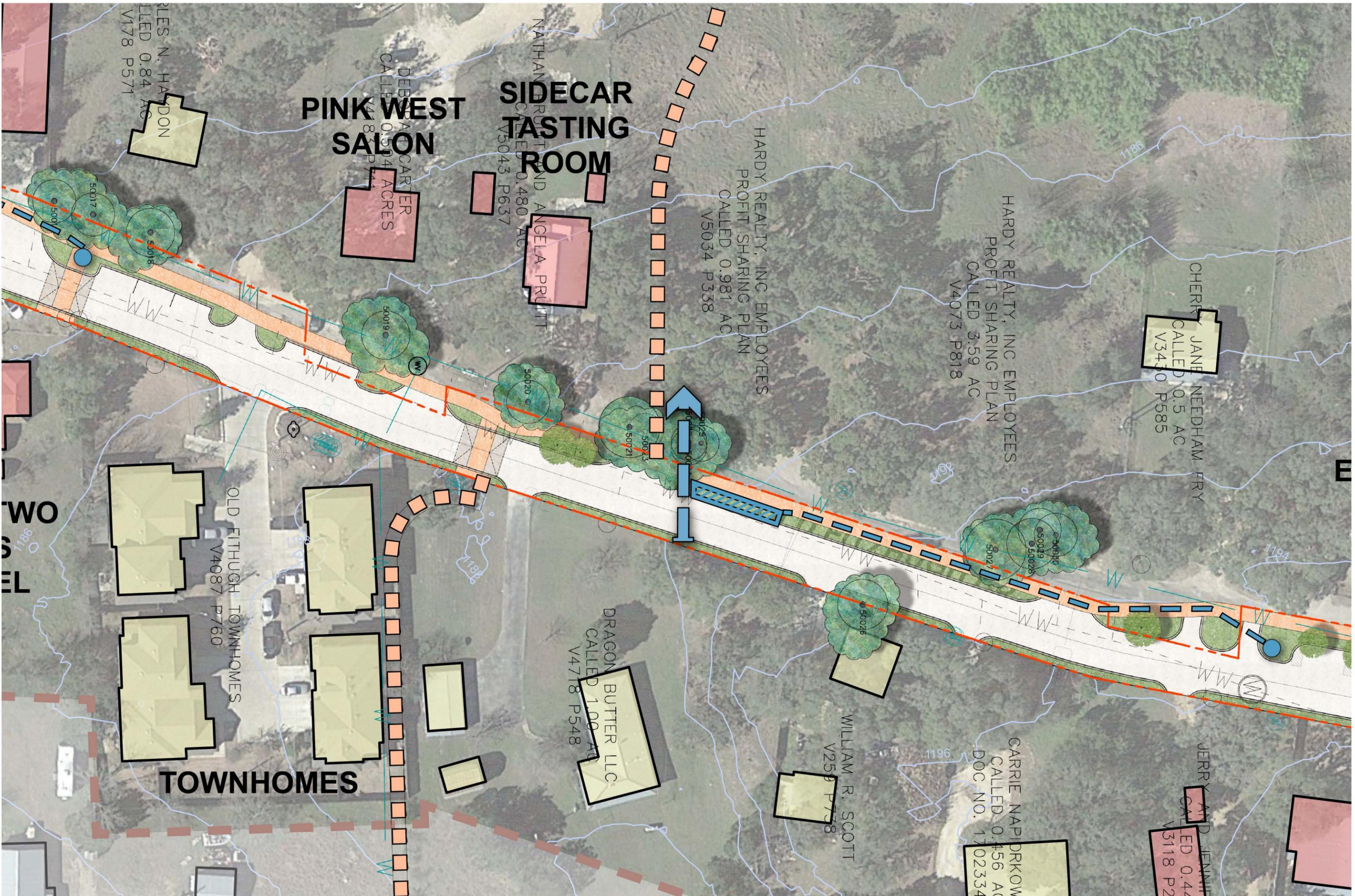
FORMER  
**MERCER ST**  
ORIGINAL TOWN OF DRIPPING SPRINGS  
VD P513

ORIGINAL TOWN OF DRIPPING SPRINGS  
VD P513

Old Fitzhugh Road Concept Plan - Sheet 1  
**Dripping Springs**  
DRAFT May 29, 2018





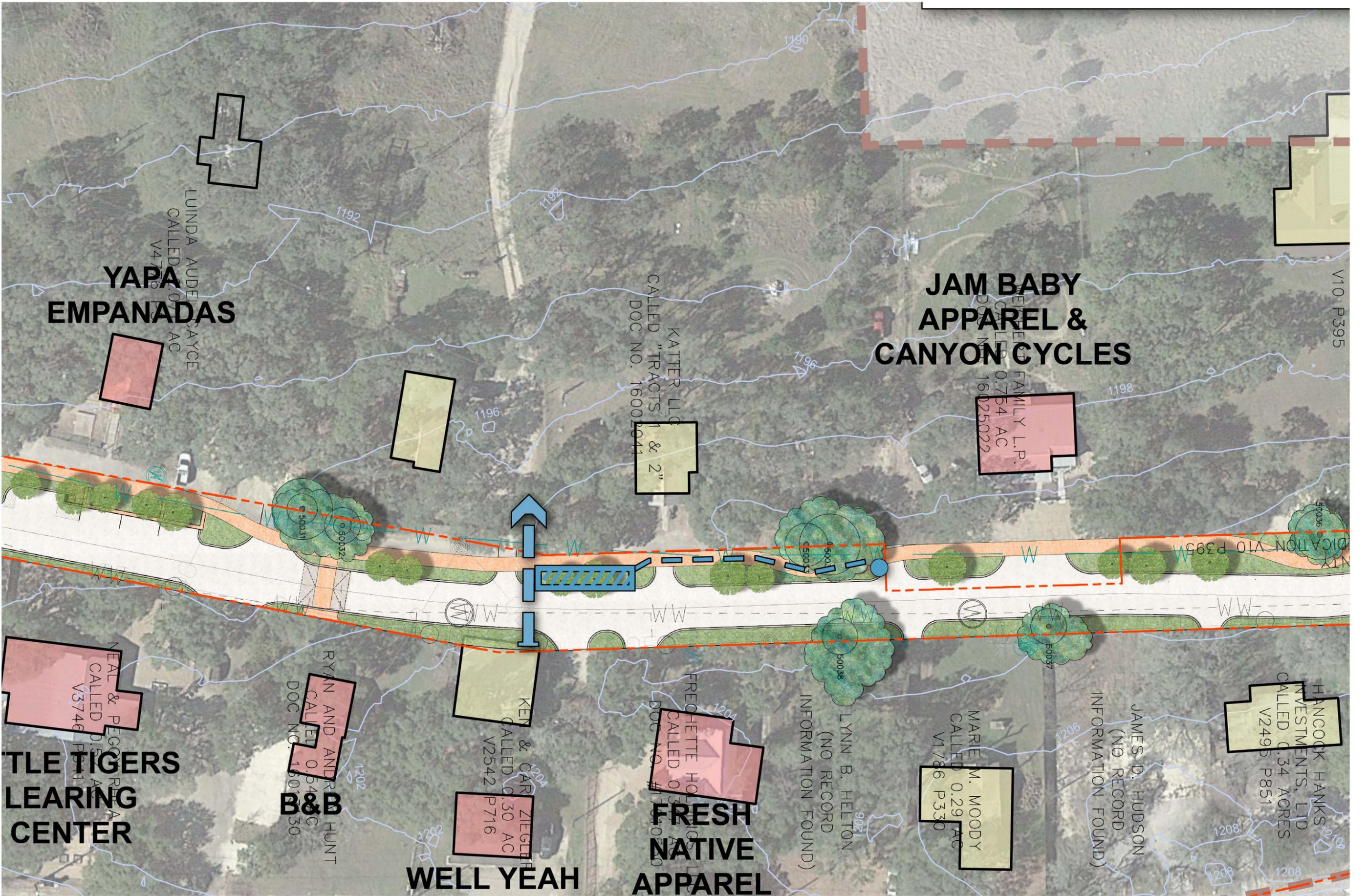


Old Fitzhugh Road Concept Plan - Sheet 3

**Dripping Springs**

DRAFT Map 29, 2018





Old Fitzhugh Road Concept Plan - Sheet 4

Dripping Springs  
 DRAFT May 29, 2018



50029	LIVE OAK	15"	K
50030	LIVE OAK	17"	K
50031	LIVE OAK	MULTIPLE 28"	K
50032	LIVE OAK	12"	K
50033	LIVE OAK	19"	K
50034	LIVE OAK	MULTIPLE 33"	K
50035	LIVE OAK	12"	K
50036	LIVE OAK	25"	K
50037	LIVE OAK	11"	K
50038	LIVE OAK	10"	K
60001	LIVE OAK	28"	K
60002	LIVE OAK	22"	K
60003	LIVE OAK	24"	K
60004	LIVE OAK	19"	K
60005	LIVE OAK	30"	K
60125	LIVE OAK	24"	NOT IN SITE
60126	LIVE OAK	27"	NOT IN SITE
60127	LIVE OAK	24"	NOT IN SITE
5680	LIVE OAK	12"	K



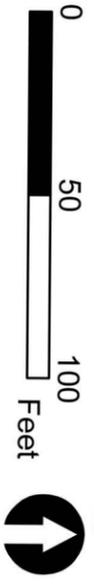
BY  
L &  
CYCLES

RM 12

TIMBERLINE RD

R.M. 12  
CALLED 100' R.O.W.  
PER TXDOT CSJ 0683-05-012

Old Fitzhugh Road Concept Plan - Sheet 5  
Dripping Springs  
DRAFT May 29, 2018





DRAFT  
 Old Fitzhugh Road Concept Plan  
 Dripping Springs  
 HDR Engineering May 24, 2018

